



Building Services Department

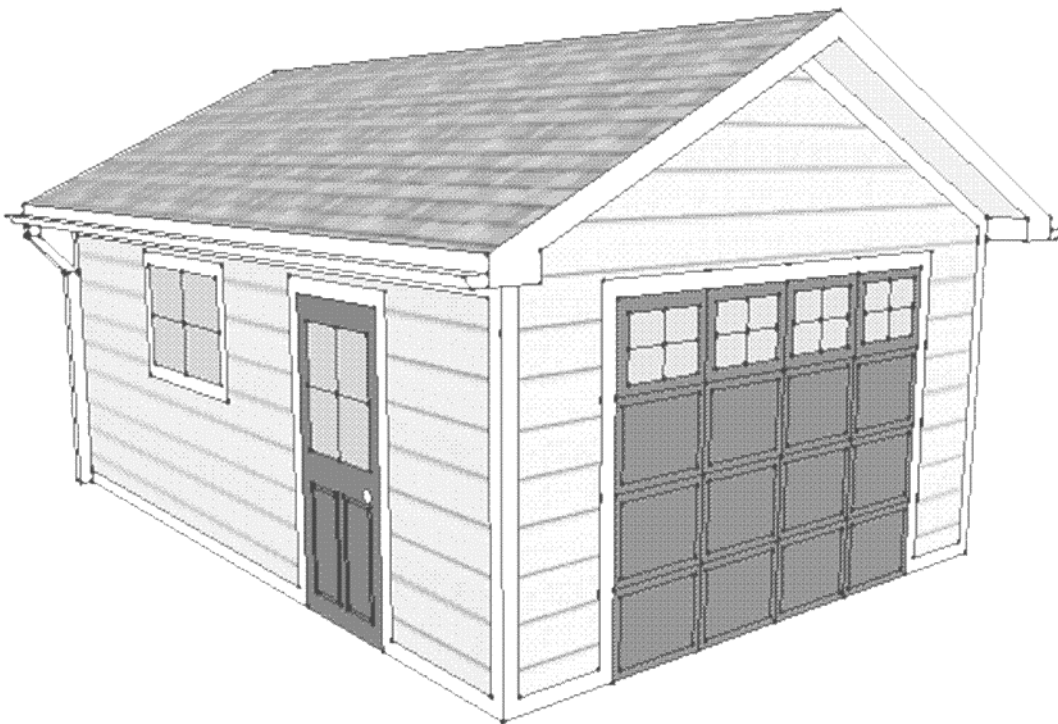
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www.townshipofperry.ca

Garage and Shed Construction Guide



General Requirements

A building permit is required for all accessory buildings where:

- The size of the structure is larger than 10 m² (108 sq. ft.); or
- It is attached to another structure; or
- It contains plumbing

Examples of General Zoning Restrictions:

Shoreline Residential (SR) lots under Zoning By-law 2014-10, the following would apply:

Lot Coverage: Maximum of 5 percent (5%) total coverage for accessory structures. (Please note that deck, dock and boathouse building areas count for this overall lot coverage).

Setbacks: In most cases, the minimum required setbacks are:

- 30 m (98.4 ft.) from front yard (lake shore)
- 1.2 m (3.9 ft.) from interior side lot line
- 20 m (65.6 ft.) from exterior side lot line
- 10 m (32.8 ft.) from rear lot line; and
- 2 m (6.6 ft.) from main building (cottage or home) if detached

Building Height: The maximum height for an accessory structure is 6.5 m (21.3 ft.)

Rural (RU) lots under Zoning By-law 2014-10, the following would apply:

Lot Coverage: Maximum of 5 percent (5%) total coverage for accessory structures.

Setbacks: In most cases, the minimum required setbacks are:

- 30 m (98.4 ft.) from front yard (road side)
- 1.2 m (3.9 ft.) from interior side lot line
- 30 m (98.4 ft.) from exterior side lot line
- 15 m (49.2 ft.) from rear lot line; and
- 2 m (6.6 ft.) from main building (cottage or home) if detached

Building Height: The maximum height for an accessory structure is 6.5 m (21.3 ft.)

Note: All accessory structures must comply with the Township of Perry's Zoning By-law. If you are unsure whether the accessory structure complies or not, please contact the Building Services Department at 705-636-5941.

Application Requirements

- Completed building permit application forms.
- Two copies of the most recent survey **or** detailed site sketch for the property showing dimensions of all existing buildings and structures, and their setbacks, drawn to scale. The proposed garage or shed is to be plotted on the site plan and setback dimensions to all property lines are to be shown. (See attached sample site plan on page 5).
- Two copies of construction drawings including floor plans, elevations, and sections drawn to scale. The attached template drawings and details could be used, providing all dimensions and information are shown on the "Floor Plan" (page 6).
- The current permit fee, payable at time of application by cheque, cash, debit, credit card (2% additional fee) or electronic payment. Cheques are made payable to "The Township of Perry". If choosing to make an online banking payment, please contact the municipality to obtain the online banking number.

Call before you dig:

It is the owner(s) / contractor(s) responsibility to call the utility companies to locate any underground utility lines within the construction zone to avoid damaging them during construction.

- ON1CALL – Call before you dig 1-800-400-2255

Step by Step Application Instructions

1. Site Plan - Refer to the sample "Site Plan" on page 5.

Create or modify a copy of your own survey or site plan. Include all the dimensions and information as shown on the sample.

2. Floor Plan - Refer to the sample "Floor Plan" on page 6.

Create your own or modify the sample to show all of your openings and structural information. Refer to page 11 for structural detail to assist you with framing construction. If engineered roof trusses are to be used then label 'Engineered Roof Trusses' on the Floor Plan.

3. Elevations - Refer to the sample "Elevations" on page 7.

Create your own or modify the sample to show all of your openings. Note the direction each elevation is facing in the title block under each elevation (i.e. North, South, East, West). No openings are permitted in a wall within 4 feet of a property line.

4. Building Section – Refer to the “Building Section” on page 8.

Create your own or modify the sample provided to show framing details and building height. If a truss system is used please include the wording, “Trusses as per attached” on the drawing and attach the engineered stamped truss drawings to your application.

5. Foundation Design – Refer to the “Foundations” on pages 9 and 10.

There are 4 foundation options to choose from based on site conditions, cost, and use of the building. Select the foundation you wish to use for your building and provide the construction detail with your drawing. ‘Pier Type’ foundations with wood floors and ‘Mud Sill’ foundations are to be used for sheds only to maximum size of 55 m² (592 sq. ft.) and are **not** designed to support the weight of motorized vehicles.

6. Electrical Safety Authority (ESA)

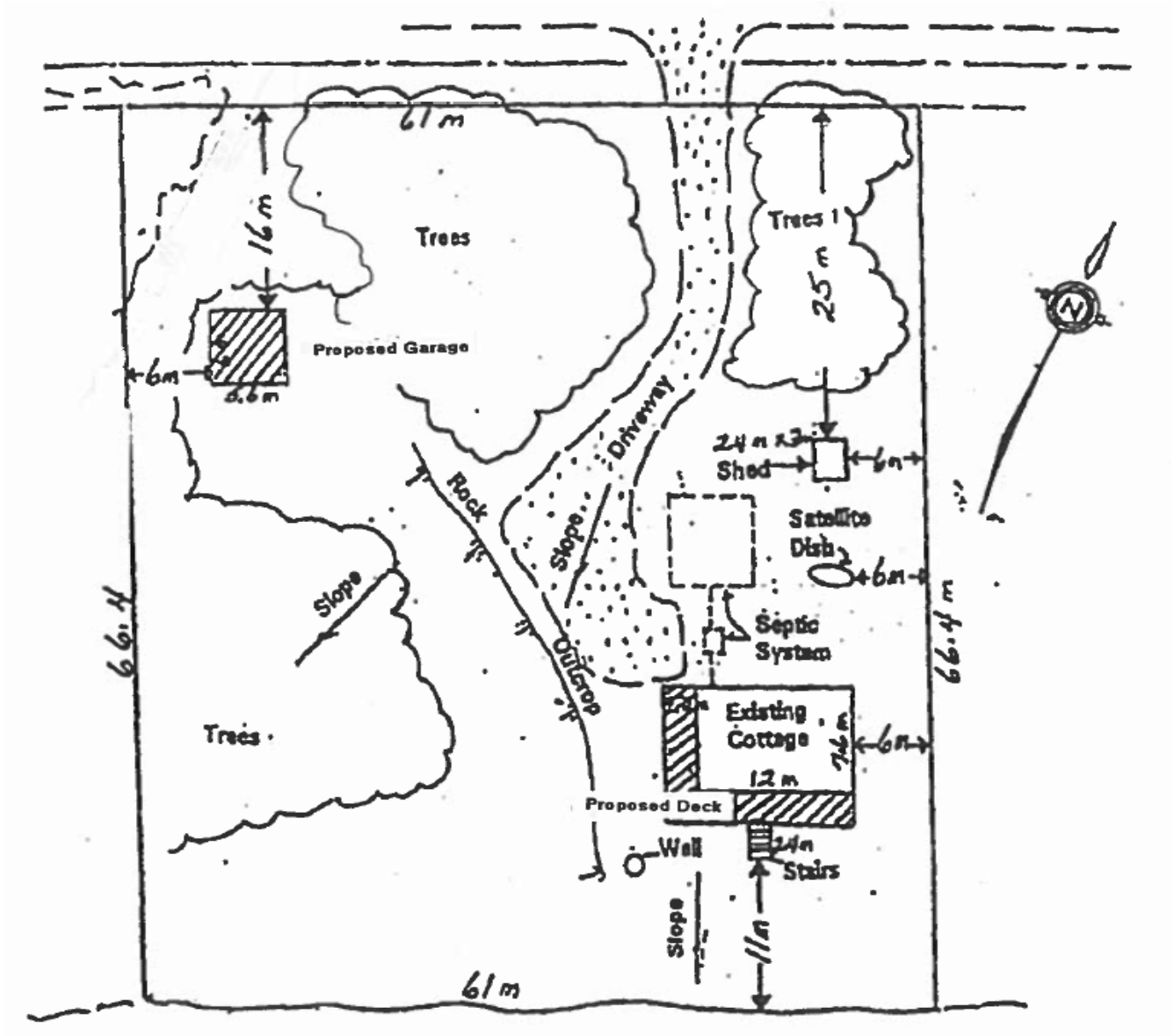
Electrical work requires a permit from Hydro One. A copy of the approved final electrical report from ESA will be required by the Township at the time of final inspection for your building. Contact numbers for Hydro One **1-888-664-9376** and ESA **1-877-372-7233**.

Note: Please provide your own shed or garage plans if your shed or garage is different from what is shown in this package (use the same concept and provide the same information). You will also need to provide your own details if the proposed construction methods differ from those provided.

- Garage construction packages purchased from a building supply store or from a qualified designer require a Schedule 1: Designer Information form to accompany the building application. Structures designed by the property owner require a Schedule 1: Designer Information form as well. As the property owner, you are exempt from designer qualification. The form must still be filled in and property owner to check off last check box indicating “property owner” as reason for exemption.
- Truss roof system **must** have a set of stamped drawings provided by a licensed Engineer with the Province of Ontario (the manufacturer or building supply store will supply you these sealed plans with your building package).

Sample Site Plan Sketch

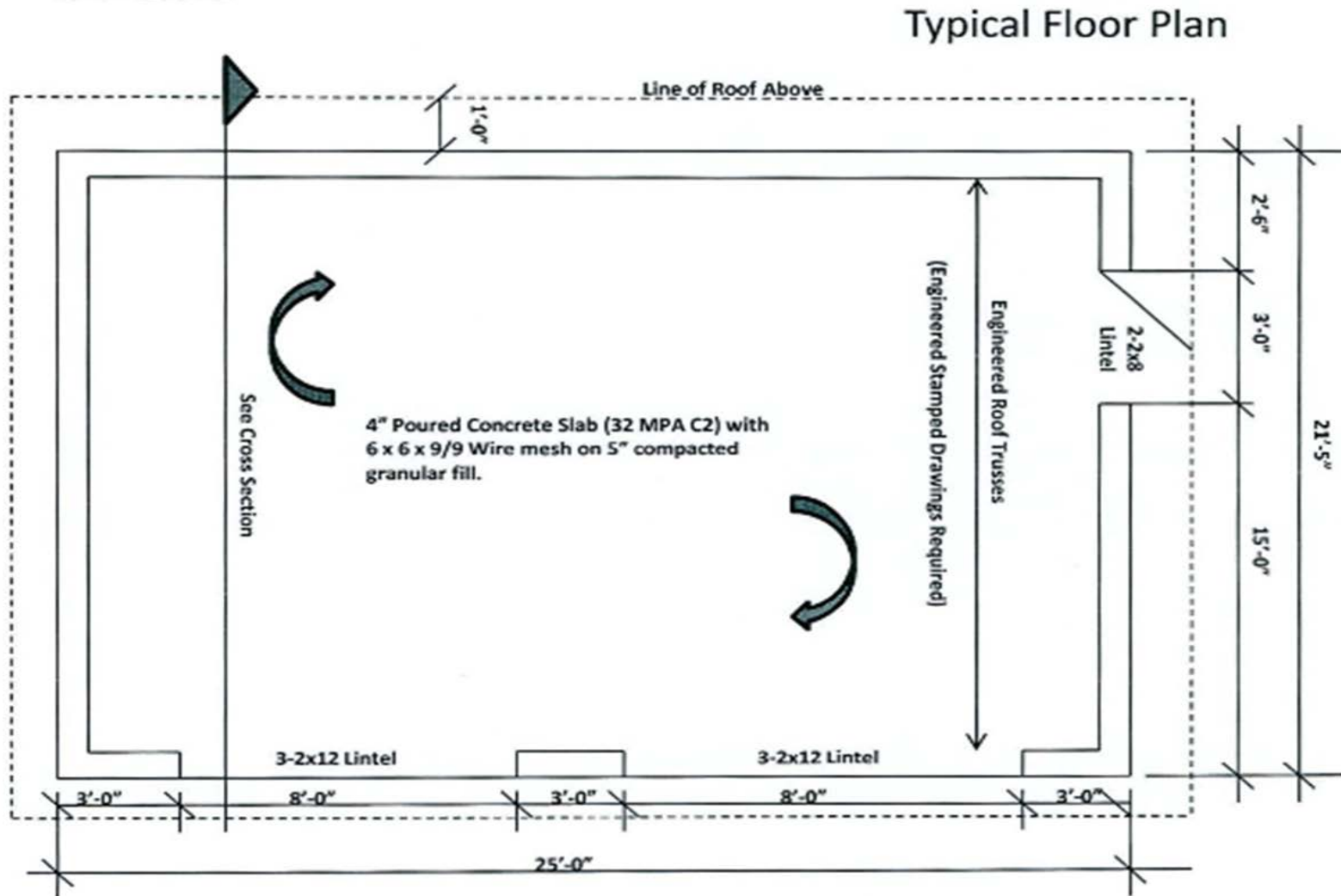
Dimension your own site plan similar to the one below and include the required information as set out in 'Site Information' table.



SITE INFORMATION:	
SITE FEATURES	AREA (ft ² /m ²)
Area of lot:	
Footprint of house:	
Footprint of existing accessory buildings:	
Footprint of proposed shed/garage:	
Length of shoreline:	

Sample Floor Plan

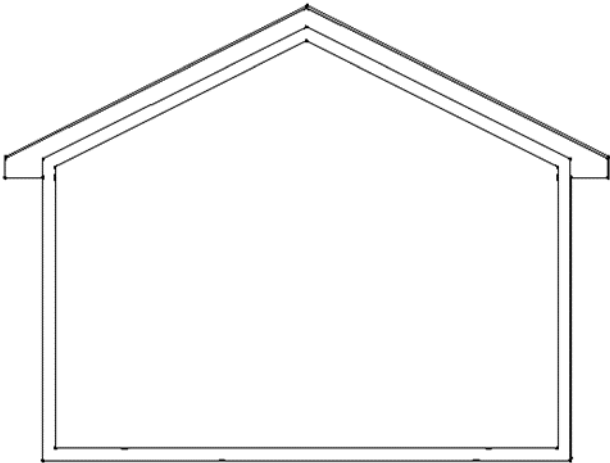
Draw a floor like the sample below and include building features such as truss/rafter direction/location and spacing on centre, window and door openings with header/lintel sizes, stud wall sizes with spacing on centre, eve overhang, etc.



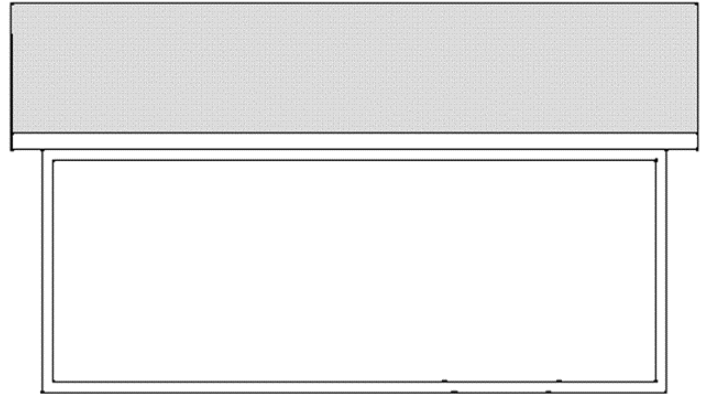
Note: Electrical Lighting Required by Ontario Building Code

Elevations

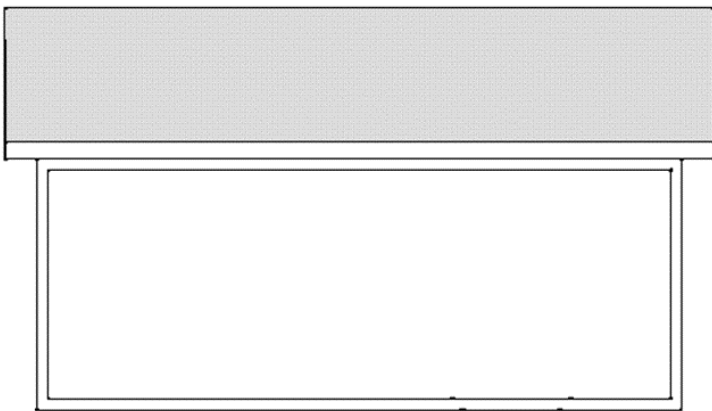
Label the building elevations (i.e. front, right, left and rear) or by indicating the facing directions (North, South, East, West). Be sure to include building features (i.e. window and door openings), size of openings and header/lintel sizes above the openings.



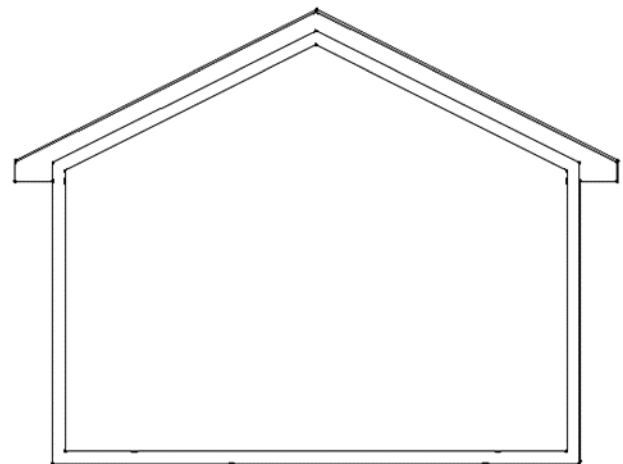
_____ ELEVATION



_____ ELEVATION



_____ ELEVATION

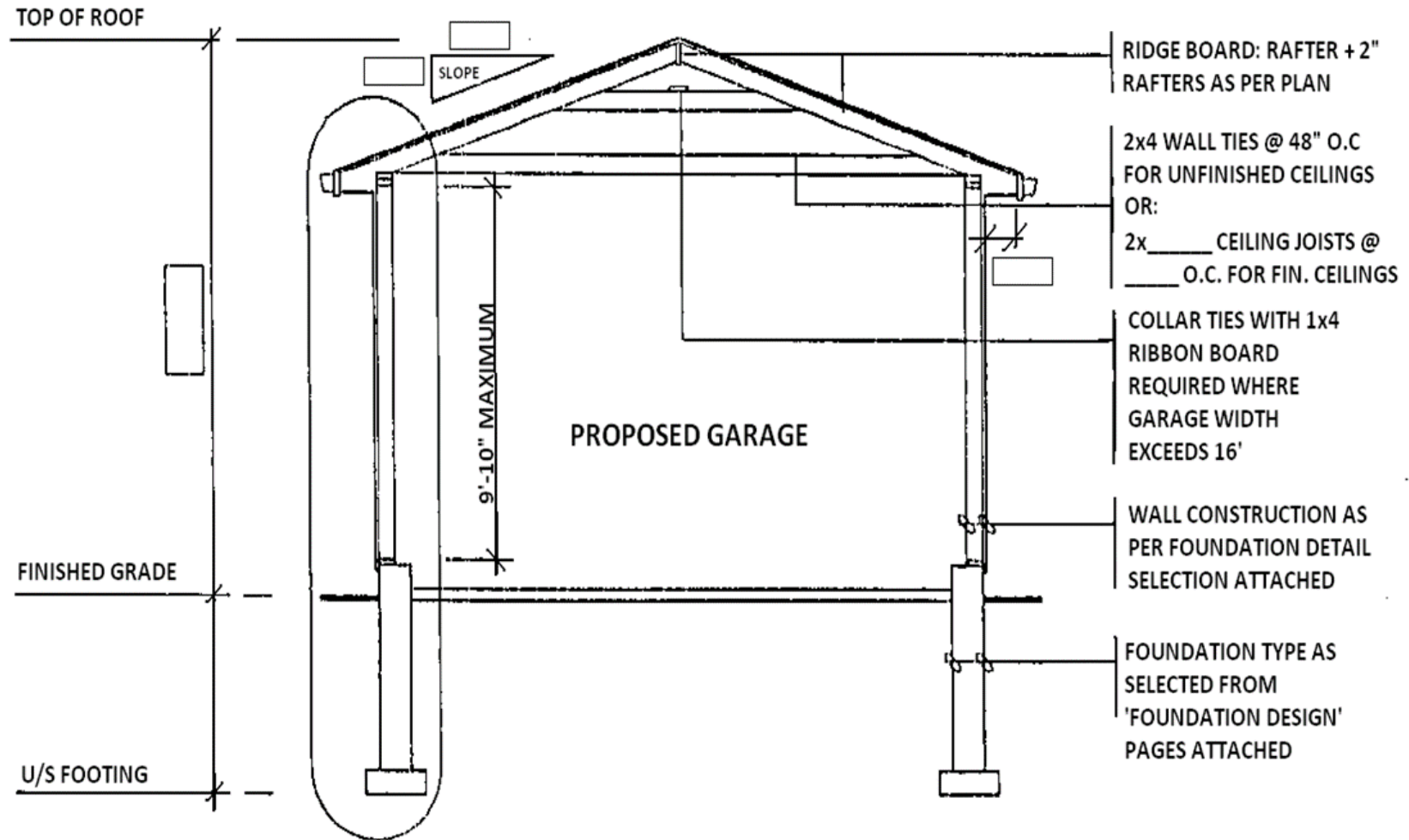


_____ ELEVATION

Note: Refer to the Framing Tables on page 11 to assist you with the Framing Structural Details.

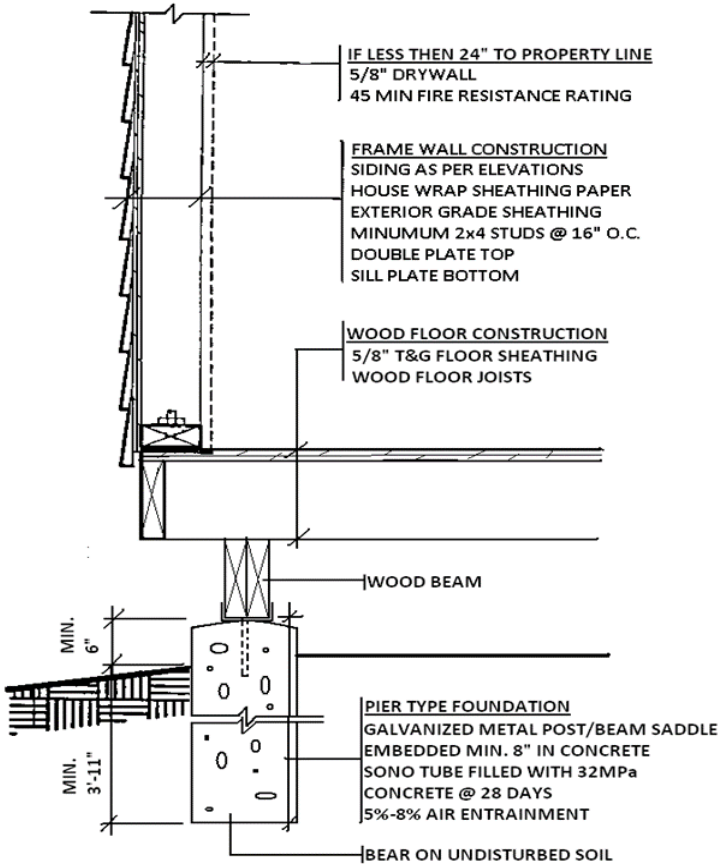
Sample Building Section

Draw a building cross section and indicate overall building height, soffit overhang, wall and roof framing.



Sample Foundation Design

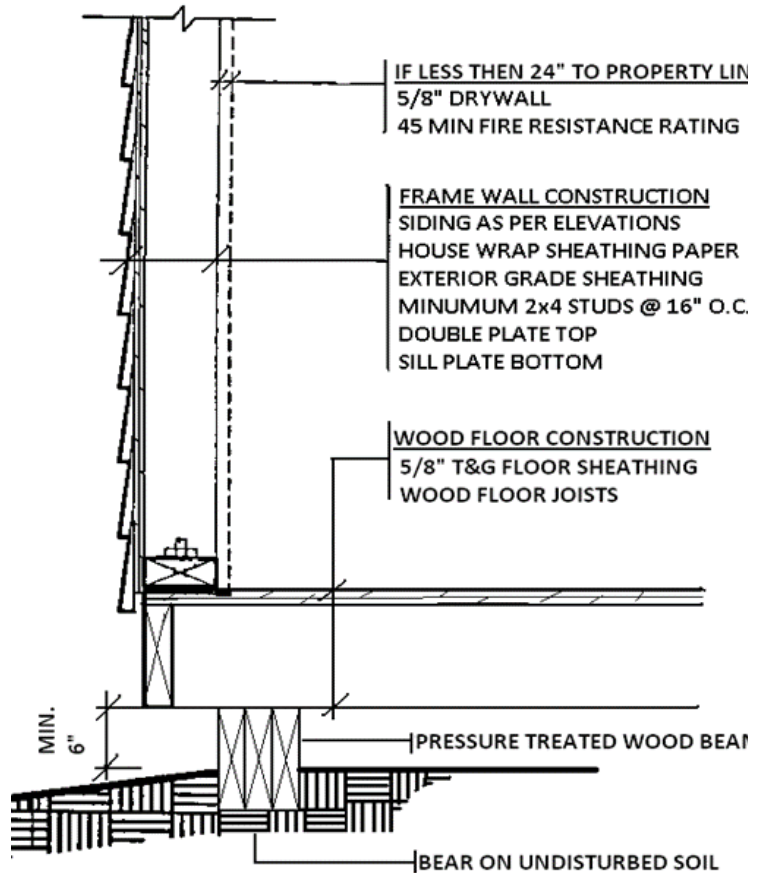
Pier Type Foundation



NOTES:

- 1) Ensure pier footing base has proper footing (i.e. Bigfoot tube)

Mud Sill Type Foundation

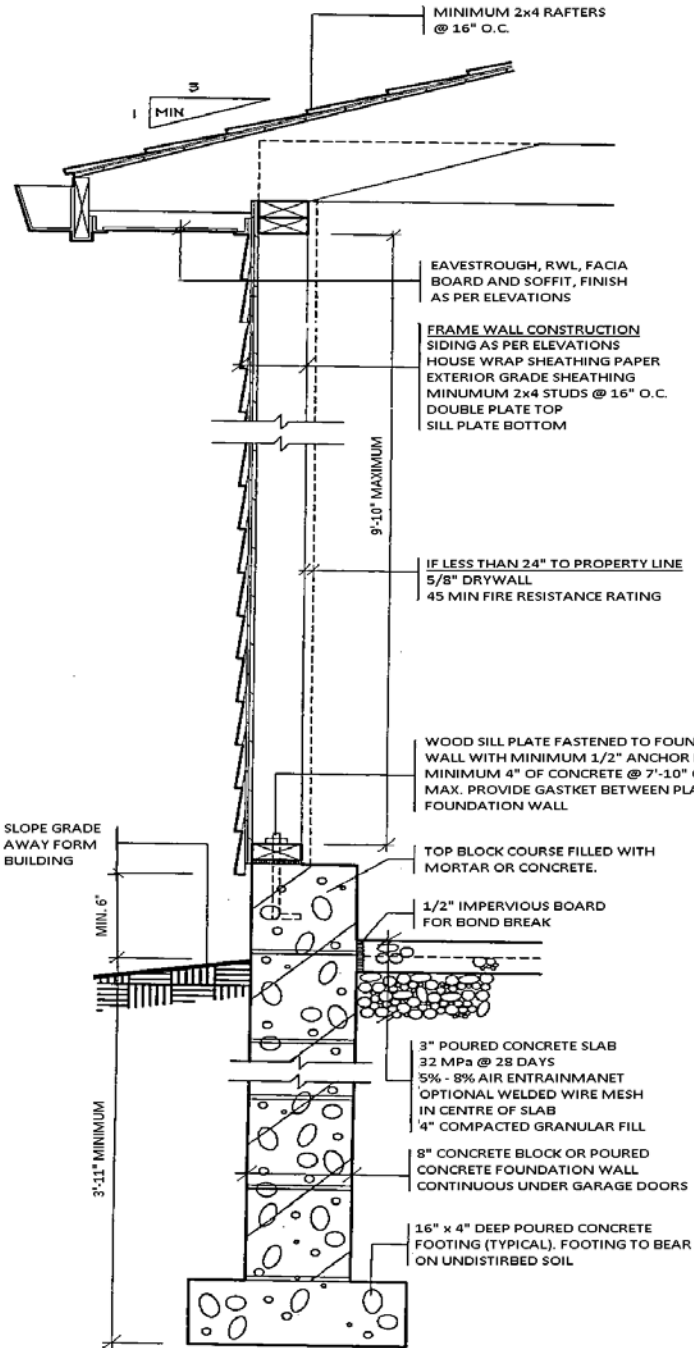


NOTES:

- 2) Mud Sill Foundations require earth anchorage.
- 3) Maximum 55m2 (592 sq. ft.), one story wood frame

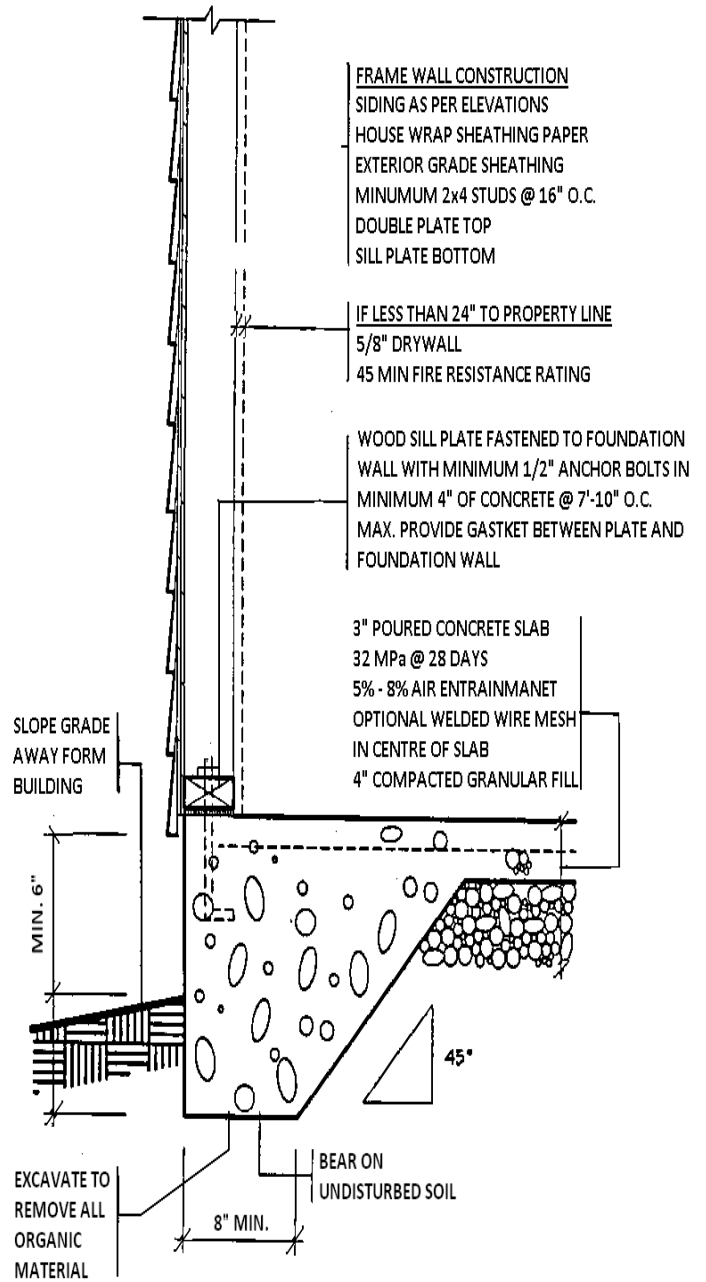
Foundation Notes: Soil bearing capacity to be considered as 2090 PSF (100kPa) unless otherwise determined by Chief Building Official

Frost Wall Foundation



Concrete Pad Type Foundation

(Single storey only, less than 55 sq. m. (592 sq. ft.))



NOTES:

- 1) Concrete pad larger than 55 sq. m. to be designed by engineer

Framing Tables

TABLE 1: Wood Floor and Pier Type Foundation Sizing

JOIST SPAN	FOOTING SIZE				BEAM SIZE				JOIST SIZE
	PIER SPACING				PIER SPACING				
	4'	6'	8'	10'	4'	6'	8'	10'	
6'	14"Ø	18"Ø	20"Ø	22"Ø	2-2X6	2-2X6	2-2X8	2-2X10	2X6
8'	16"Ø	20"Ø	22"Ø	24"Ø	2-2X6	2-2X8	2-2X10	2-2X12	2X6
10'	18"Ø	22"Ø	24"Ø	28"Ø	2-2X6	2-2X8	2-2X10	2-2X12	2X8
12'	20"Ø	24"Ø	28"Ø	30"Ø	2-2X6	2-2X8	2-2X10	2-2X12	2X10

- Use pressure treated lumber when in close proximity to finished grade (ground)

TABLE 2: Exterior Wall Framing

Supported Loads (including dead loads)	Minimum Stud Size mm (in)	Minimum Stud Spacing mm (in)	Minimum Unsupported Height, m (ft in)
Roof with or without attic storage	38x64 (2x3)	400 (16)	2.4 (7 ft 10 in)
	38x89 (2x4)	600 (24)	3.0 (9 ft 10 in)
Roof with/without attic storage plus one floor	38x89 (2x4)	400 (16)	3.0 (9 ft 10 in)
	38x140 (2x6)	600 (16)	3.0 (9 ft 10 in)

TABLE 3: Sample Building Features

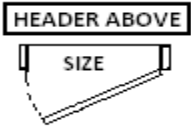
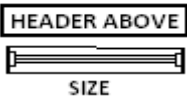
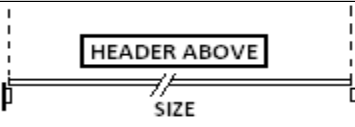
MAN DOOR	WINDOW	GARAGE DOOR	HEADER SIZES
			2-2x6 – 4' OPENING
			2-2x8 -6' OPENING
			2-2x10 – 8' OPENING
			2-2x12 – 10' OPENING

TABLE 4: RAFTER SIZING (or Engineered trusses as per manufacturer)

RAFTER SIZE	MAXIMIM CLEAR RAFTER SPAN		
	RAFTER SPACING		
	12" O.C.	16" O.C.	24" O.C.
2 x 4	8'-11"	8'-0"	7'-0"
2 x 6	14'-0"	12'-9"	11'-2"
2 x 8	18'-5"	16'-9"	14'-5"
2 x 10	23'-6"	21'-4"	17'-8"

- Do not use screws to assemble your beams or to secure your joist/beam hangers
- Roofing Note:** Ensure roof snow loading designed for minimum of 42 lbs./sq.ft.

Cut Away Garage Diagram (for information purposes only)