

**NOTICE OF A PUBLIC MEETING
TO INFORM THE PUBLIC OF A PROPOSED
ZONING BY-LAW AMENDMENT**

RECEIPT OF COMPLETE APPLICATION

TAKE NOTICE that the Township of Perry has received a complete application to amend Zoning By-law 2014-21. The application affects a lot located at 1891 Emsdale Road in Emsdale and is legally described as Lot 11, Registrar's Compiled Plan No. 314, in the Township of Perry (see Key Map). The purpose of the proposed By-law is to rezone the lands from the Rural Residential (RR) Zone to a General Commercial (CG) Zone to allow for a Motor Vehicle Service Station on the lands.

AND PURSUANT to Section 34 (10) of the Planning Act, the application file is available for review at the Municipal Office. Please contact the Municipal Clerk to arrange to review this file.

NOTICE OF PUBLIC MEETING WITH COUNCIL

TAKE NOTICE that the Council for The Corporation of the Township of Perry will be holding a public meeting under Section 34 of the Planning Act, R.S.O. 1990, c.P. 13 as amended, to allow the public to comment on this application for a proposed Zoning By-law Amendment.

The public meeting is being held for the application described below to enable interested members of the public to understand and comment on the Zoning By-law Amendment.

DATE AND LOCATION OF PUBLIC MEETING

Date: Wednesday, June 7th, 2017
Time: During the Regular Meeting of Council at 7:00 pm
Location: Council Chambers located at 1695 Emsdale Road, Emsdale, Ontario

DETAILS OF THE ZONING BY-LAW AMENDMENTS

The purpose of the proposed By-law is to amend the Rural Residential (RR) Zone of Zoning By-Law No. 2014-21, as amended on lands located at 1891 Emsdale Road and legally described as Lot 11, Registrar's Compiled Plan No. 314, in the Township of Perry to rezone the lands from the Rural Residential (RR) Zone to a General Commercial (CG) Zone to allow for General Commercial uses on the lands.

The application, if approved, would rezone the lands from the Rural Residential (RR) Zone to a General Commercial (CG) Zone to allow for the development of a Motor Vehicle Service Station on the lands.

Additional information relating to this application is available at the Township of Perry Municipal Office for public review during regular office hours.

ADDITIONAL INFORMATION AND MAP OF LAND SUBJECT TO THE APPLICATION

A key map showing the land to which the proposed amendment applies is provided on this Notice.

The purpose of this meeting is to ensure that sufficient information is made available to enable the public to generally understand the applicant's proposed Zoning By-law Amendment. Any person who attends the meeting shall be afforded an opportunity to make representations in respect of the applications.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the Council of the Township of Perry before the By-law is passed, the person or public body is not entitled to appeal the decision of the Council of the Township of Perry to the Ontario Municipal Board.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the Council of the Township of Perry before the proposed By-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Municipal Board unless, in the opinion of the Board, there are reasonable grounds to do so.

Additional information regarding the proposed amendment is available to the public for inspection at the Township of Perry Municipal Office located at 1695 Emsdale Road on Monday to Friday, between the hours of 8:30 a.m. and 4:30 p.m.

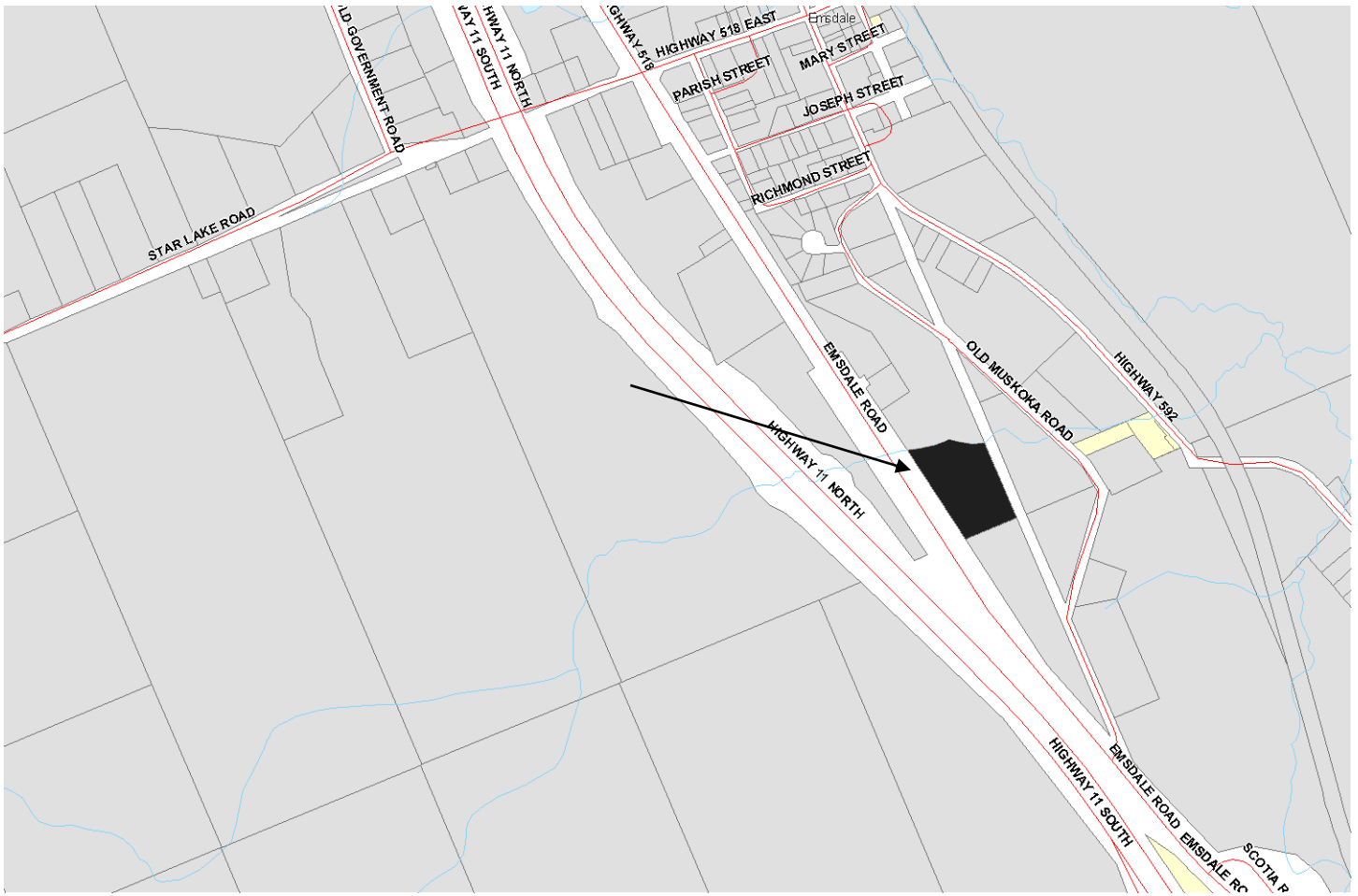
Mailing Date of this Notice: May 8, 2017



Beth Morton, Clerk/Administrator
Township of Perry

**MAPPING FOR LANDS SUBJECT TO APPLICATION FOR
ZONING BY-LAW AMENDMENT**

**1891 Emsdale Road, Emsdale, Ontario
Lot 11, Registrar's Compiled Plan No. 314, in the Township of Perry**



Lands to be rezoned from the Rural Residential (RR) Zone to the General Commercial (CG) Zone

THE CORPORATION OF THE TOWNSHIP OF PERRY
BY-LAW NO. 2017 - DRAFT

Being a By-law to amend By-law No. 2014-21, as amended, the Zoning By-law for the Township of Perry with respect to lands located in Lot 11, Registrar's Compiled Plan 314, Township of Perry (Gilroy)

WHEREAS the Council of the Corporation of the Township of Perry is empowered to pass By-laws to regulate the use of land pursuant to Section 34 of the Planning Act, 1990;

AND WHEREAS the owner of the subject lands has filed an application with the Township of Perry to amend By-law No. 2014-21, as amended;

AND WHEREAS the Council of the Corporation of the Township of Perry deems it advisable to amend By-Law 2014-21, as amended;

NOW THEREFORE the Council of the Corporation of the Township of Perry hereby enacts as follows:

1. **THAT** Schedule 'A-2', to Zoning By-law No. 2014-21 as amended, is further amended by zoning lands located in Lot 11, Registrar's Compiled Plan 314, Township of Perry from the Rural Residential (RR) Zone to the General Commercial (CG) Zone in accordance with Schedule 'A-1' attached hereto and by this reference forming part of this By-law.

This By-law shall come into effect upon the date of passage hereof, subject to the provisions of Section 34 (30) and (31) of the Planning Act (Ontario).

READ a First and Second Time this _____ day of _____, 2017.

Norm Hofstetter, *Mayor*

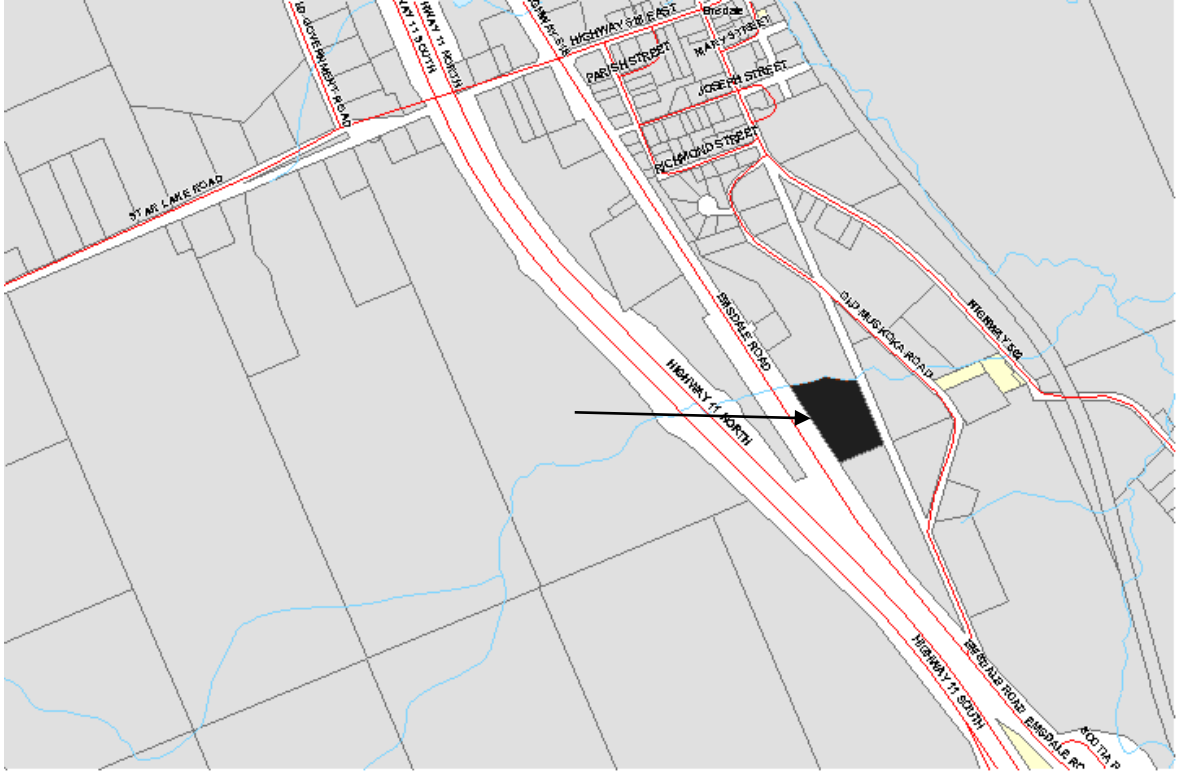
Beth Morton, *Clerk/Administrator*

READ a Third and Final Time and Enacted in Open Council this _____ day of _____, 2017.

Norm Hofstetter, *Mayor*

Beth Morton, *Clerk/Administrator*

SCHEDULE "A-1"
TO BY-LAW NO. 2017-DRAFT
Lot 11, Registrar's Compiled Plan 314
Township of Perry, District of Parry Sound



Lands rezoned from the Rural Residential (RR) Zone to the General Commercial (CG) Zone