



Building Services Department

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www.townshipofperry.ca

Dock, Boat Port/House **Construction Guide**



This document does not supersede the Building Code, Township By-laws or any other government jurisdiction (Provincial or Federal)

General Requirements

All structural construction work on docks and boathouses require a building permit from the Township of Perry. Please be advised that an agreement with the Township is required prior to any construction within the shoreline if you do not own the "Original Shore Road Allowance".

As a result of a 2015 decision by the Ontario Superior Court of Justice, a person with plans to build or place a dock or single-story boathouse resting on, physically attached to or otherwise covering more than 15 square metres of shore lands (lake bottom) will now require a permit under the Public Lands Act from the Ministry of Natural Resources and Forestry (MNRF).

As the landowner, you are required to provide the following items that will form part of a complete building application including the applicable fee:

1. A letter of approval or copy of permit (if applicable) from the Ministry of Natural Resources and Forestry/the Department of Fisheries and Oceans. This applies to all new or additions to existing docks, boat houses & boat ports where the total area of the structure physically attached to or otherwise covering more than 15 square metres of shore lands (lake bottom) exceeds 15 square metres (161 square feet);
2. A Ministry of Municipal Affairs and Housing application (Township of Perry Dock & Boathouse/port application) fully completed including Property Roll No;
3. A Detailed Site Sketch, including vegetative buffer, existing and proposed structures with dimensions and distances from property lines clearly indicated;
4. Construction drawings of the proposed structure, including a building plan, elevation(s), section and structural information that accurately describe the project. Please note that when indicating building height (for boat houses or boat ports) that the height is measured from the ordinary water's edge to the highest point of a flat-topped boat house/boat port or to the roof ridge of any sloped roof. **All steel docks that will support a structure must also comply with Steel Dock with Structure Permit Requirements;**
5. Owner(s) with structure(s) located on the Township Original Shore Road Allowance (OSRA) must have authorization from (lease agreement) the Township of Perry or purchase the OSRA from the Township of Perry.

Please note: If you are doing any new construction or additions to an existing structure within the shoreline, you may require Planning Approval.

The Building Services Department can only accept and review complete applications and plans. The review is to ensure that they meet Ontario Building Code, Municipal by-laws and other applicable law (MNRF & DFO).

Steel Dock with Structure Permit **REQUIREMENTS**

- 1) Steel docks that are to support a superstructure (boat house, boat port, etc.) are required to be designed by a professional engineer. The Ontario Building Code states in Division B, Sentence 4.3.4.1(1) that structural steel be designed in accordance with CAN/CSA S16 “Limit States Design of Steel Structures”. This design is required in order to obtain a dock building permit.
- 2) Fabricators and erectors responsible for making welds for structures fabricated or erected under this Standard shall be certified by the Canadian Welding Bureau to the requirements of CSA Standard W47.1(Division 1 or Division 2). A “Letter of Validation” is required from the fabricator to verify certification. Companies certified in Division 1 of 2 are required to employ or retain a Welding Engineer. These Welding Engineers are an essential component of a company’s certification and perform many tasks including the review of drawings for welding connection details and welding symbols, and the preparation of welding procedure data sheets. Note that the structural Engineers who completes the design drawings are not considered as one of the requirements of certification. It is possible, however, that the structural Engineer and Welding Engineer be the same person.
- 3) The company that employs the welder must also have an individual qualified by the Canadian Welding Bureau as a supervisor. The supervisor is responsible for supervising the welder carrying out the welds on the structure. All welders employed by the certified company must hold valid qualifications issued by the Canadian Welding Bureau.
- 4) Construction of a dock is to be inspected by the professional Engineer who designed the structure, to ensure compliance with his/her design.
- 5) **Building permits will not be issued for the superstructure unless** a certificate of qualification has been submitted to the municipality for the welder, accompanied with a letter stating they have been contracted to construct the superstructure.

A final inspection will not be conducted until the municipality receives a letter (report) from the professional engineer stating that the structure has been constructed in-accordance with the engineered design.

General Requirements

A Building Permit is required for all accessory structures except where:

- A shed (storage building) is less than or equal to 15m² (161 ft²) **and**
- It is not attached to another structure **and**
- The structure does not contain any plumbing.

Note: All accessory structures must comply with the Township of Perry's Zoning By-Law. For more information, contact The Township of Perry Building Services Department at 705-636-5941.

Examples of General Zoning Requirements:

For Shoreline Residential lots (SR):

Lot Coverage: Maximum of 5% of the **total lot** coverage for accessory structures.
(Please be advised that dock & boathouse building area counts towards this over-all coverage).

The **maximum area** of a dock and deck within 30m of the shoreline shall be 60 m².

Also note the **maximum** permitted width of a boathouse is 3.6m (11.8 ft) or 15% of the lot frontage, whichever is the lesser and the **maximum** size (building area) is 30 m² (323 ft²).

Maximum overall lot coverage for the SR zone is 10%.

Setbacks: In most cases the minimum required setback within the shore yard (30m back from the water's edge) is:

3 m (9.8 ft) for an interior side yard and
20 m (65.6 ft) for an exterior side yard setback (lot abuts a Township road allowance).

Building Height: The maximum height for an accessory structure within the shore yard is:

5 m (16.4 ft) measured from the elevation of the ordinary water's edge to the highest roof ridge of any sloped roof.

The maximum width of all shoreline structures shall be 8 m (26.2 ft) or 25% of the shoreline frontage, whichever is the lesser width.

No dock shall extend more than 10m (32.8 ft) into a waterway (except to provide 6m (19.6 ft) of dock in water not less than 0.8m (2.6 ft) in water depth but will not be more than 30m (98.4 ft) in overall length.

Please be aware that the side setbacks (property lines) are projected out into the lake to determine your required setbacks.

If you are uncertain of your property zoning please contact your Building Services Department and we would be pleased to assist you (705)636-5941.

Application Requirements:

- Completed dock & boathouse building permit application form,
- Two copies of the most recent survey, or a detailed site plan sketch, of the property showing dimensions of all existing structures and their setbacks drawn to scale. The proposed shore yard structure (with dimensions) is to be plotted on the site plan and setbacks to all property lines are to be shown. (see attached sample site plan on page 6).
- Two copies of detailed construction drawings including floor plans, elevation and section details drawn to scale. Pages 7-13 are sample drawings of the construction detail required for dock & boat house building permits.
- The current permit fee, payable at time of application by cheque (made to "The Township of Perry"), cash, debit, electronic payment or credit card (2% transaction fee).

Step by Step Application Instructions

1. Site Plan

Refer to the sample 'Site Plan' on page 6 and create a copy of your own site plan sketch. Include all the dimensions with setbacks and information as shown on the sample site plan sketch.

2. Floor Plan

Refer to the sample 'Floor Plan' on page 7. Create your own to show all of the supporting members, your openings and structural information. For crib docks outline your cribbing area with stringers & decking. If engineered roof trusses are to be used then label "Engineered roof trusses" on the Floor Plan (Please indicate the spacing on center & design snow load for the trusses).

3. Elevations

Refer to the sample "Elevations" on page 8. Create your own or modify the sample to show all of your openings. Note the direction each elevation is facing in the title block under each elevation (e.g. North, East, South, or West).

4. Building Section

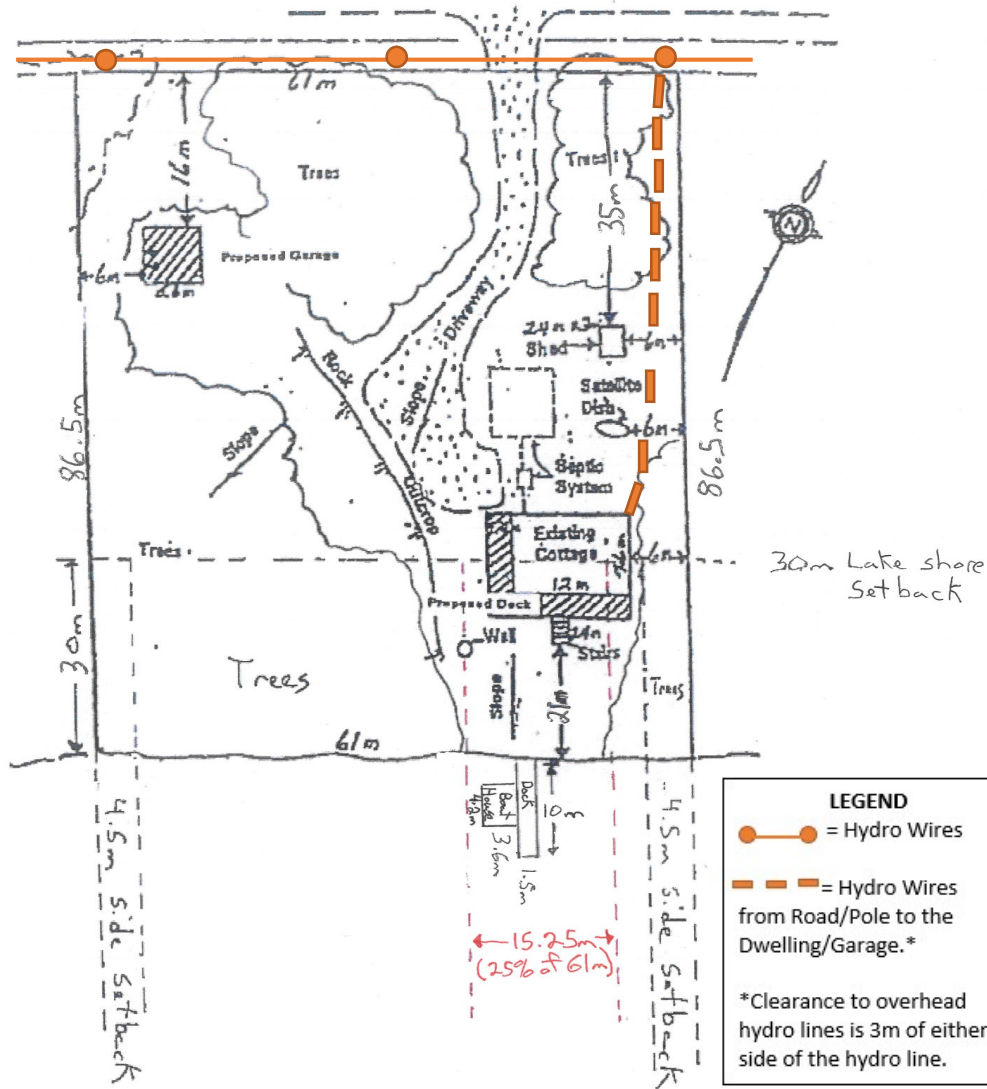
Refer to the 'Building Section' on page 9. Create your own to show framing details and building height. If a truss system is used please note: "Trusses as per attached truss layout" on the 'Building Section' and include the engineered stamped truss drawings in your application.

5. Foundation Design

Foundation design begins with your dock. Provide construction detail out lining dock foundation (floating, pipe, crib or steel pile).

Note: *Please provide your dock, boat house and/or boat port plans. **Please note,** that any proposed prefabricated truss roof system must have a set of stamped drawings provided by a licensed Engineer with the Province of Ontario.*

1. Site Layout – Dimension your own site plan similar to the one below and include the ‘Site Information’ chart as shown below.



SITE INFORMATION:

SITE FEATURES	AREA (ft ² /m ²)
Area of lot:	
Footprint of house:	
Footprint of existing accessory buildings:	
Footprint of proposed dock/boat house:	
Length of shoreline:	

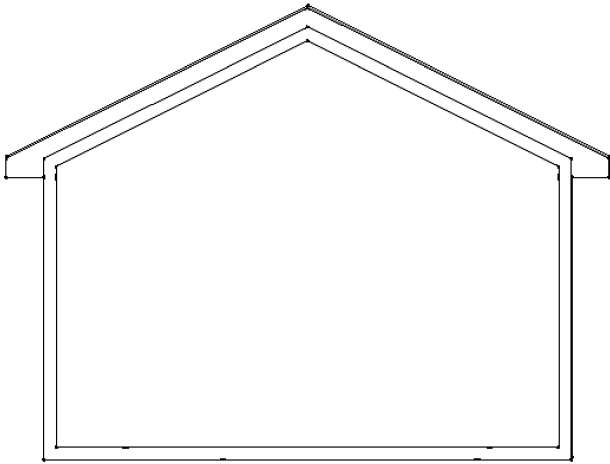
2. Boat House Floor Plan – Example of Construction Detail for Boat House.

NOTE: ELECTRICAL LIGHTING REQUIRED BY O.B.C.

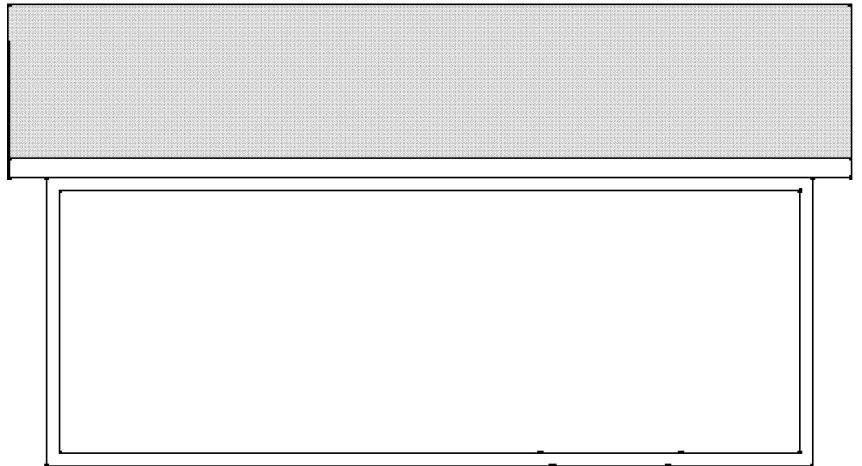
Respect your neighbors, ensure all lake shore lighting is dark sky friendly.

HEADER (LINTEL) SIZES:	
HEADER SIZES	EXAMPLE FOR USE
2 ply 2x6 – up to 4' opening	Man door or window
2 ply 2x8 – up to 6' opening	Patio door or window
2 ply 2x10 – up to 8' opening	Patio or boat house door
2 ply 2x12 – up to 10' opening	Boat house door

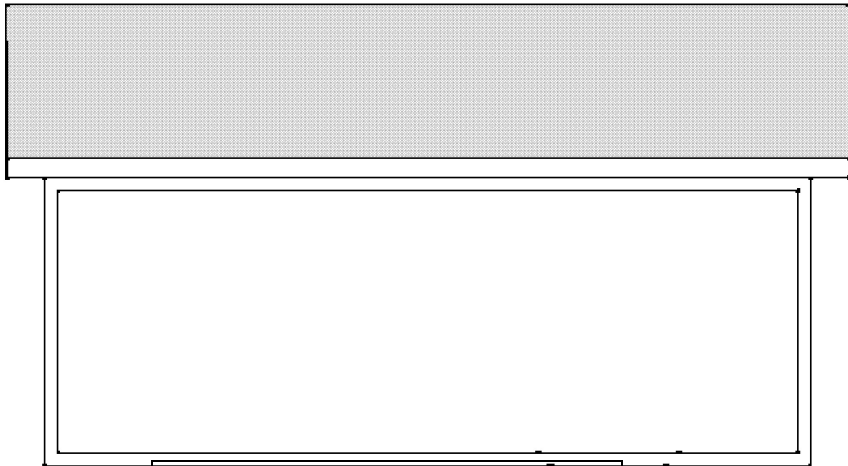
3. Elevations – Draw in the building features (windows & doors) and indicate the facing direction using the elevations and title blocks below



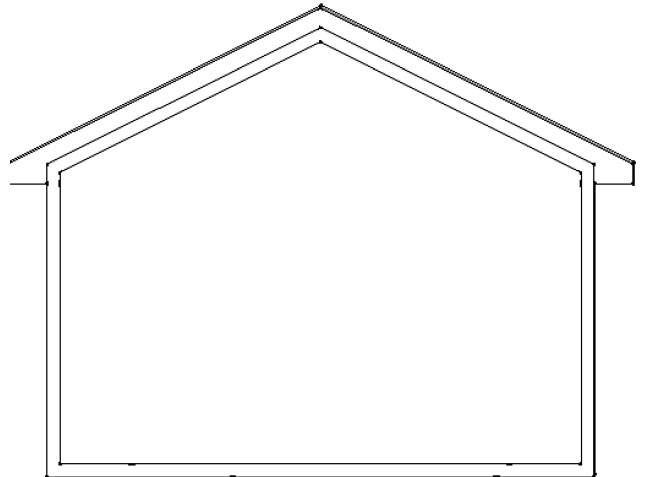
_____ ELEVATION



_____ ELEVATION

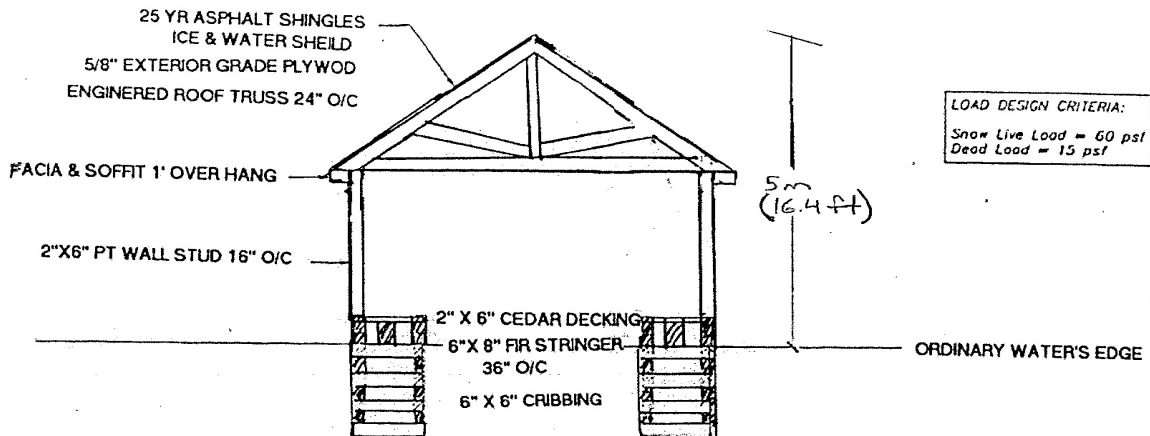


_____ ELEVATION



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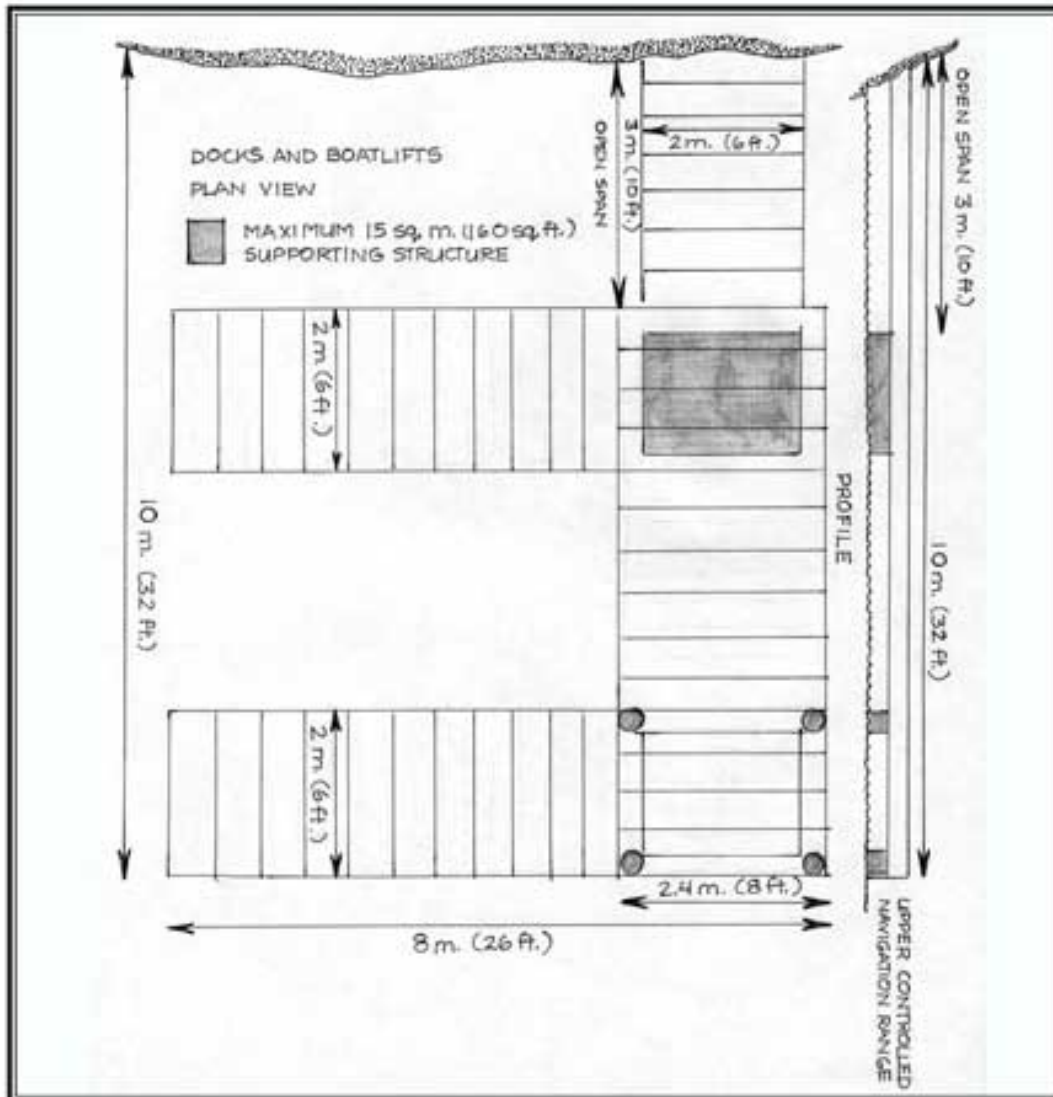
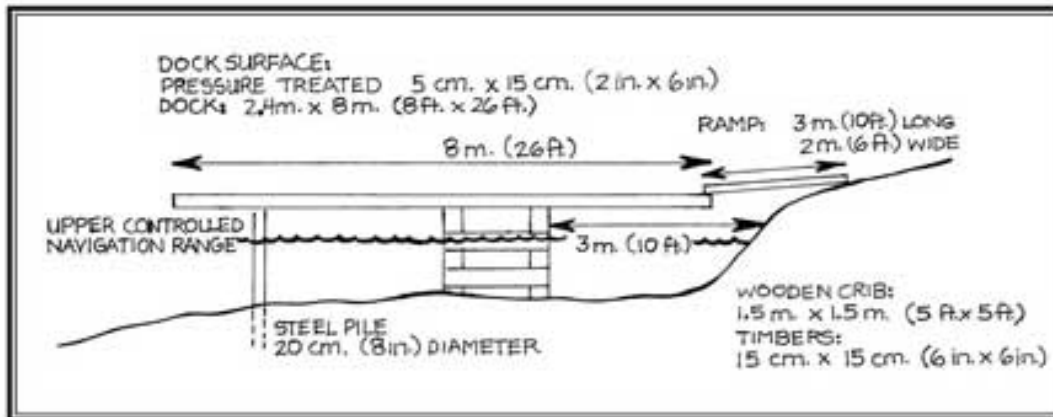
4. Building Section – Example indicate building height, soffit overhang and roof framing



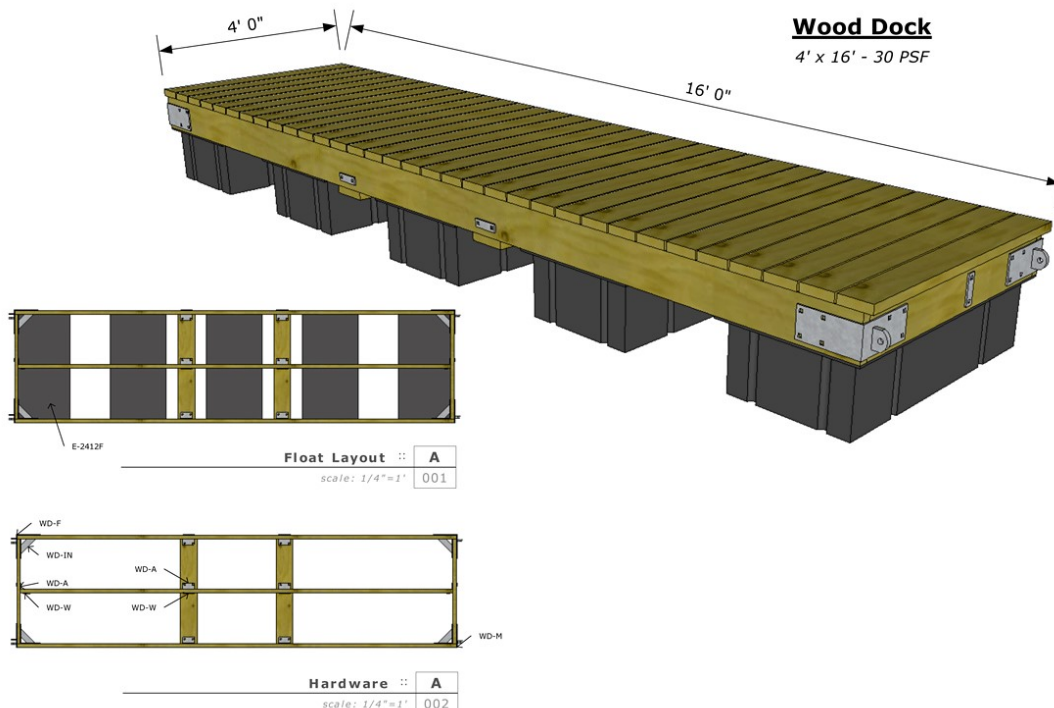
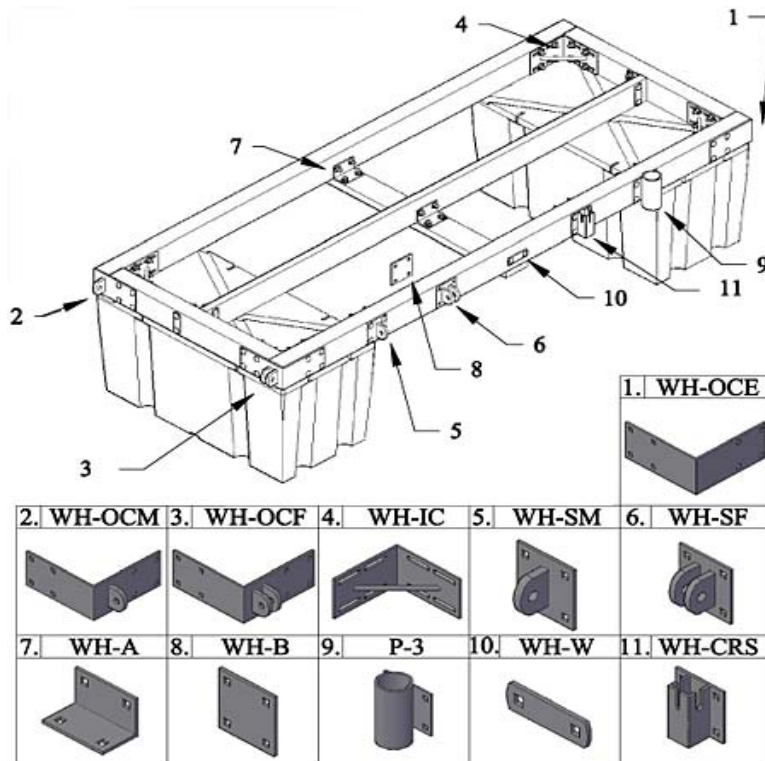
5. Span Table for Solid lumber timbers not exceeding 36" O/C (crib dock stingers)

Timber size		Span
4x6	SS	10'
4x6	#1	9'
4x6	#2	9'
4x8	SS	14'
4x8	#1	12'
4x8	#2	12'
6x6	SS	11'
6x6	#1	11'
6x6	#2	10'
6x8	SS	15'
6x8	#1	15'
6x8	#2	14'

6. Dock Construction Detail – (example construction detail) (crib dock/ steel piles)

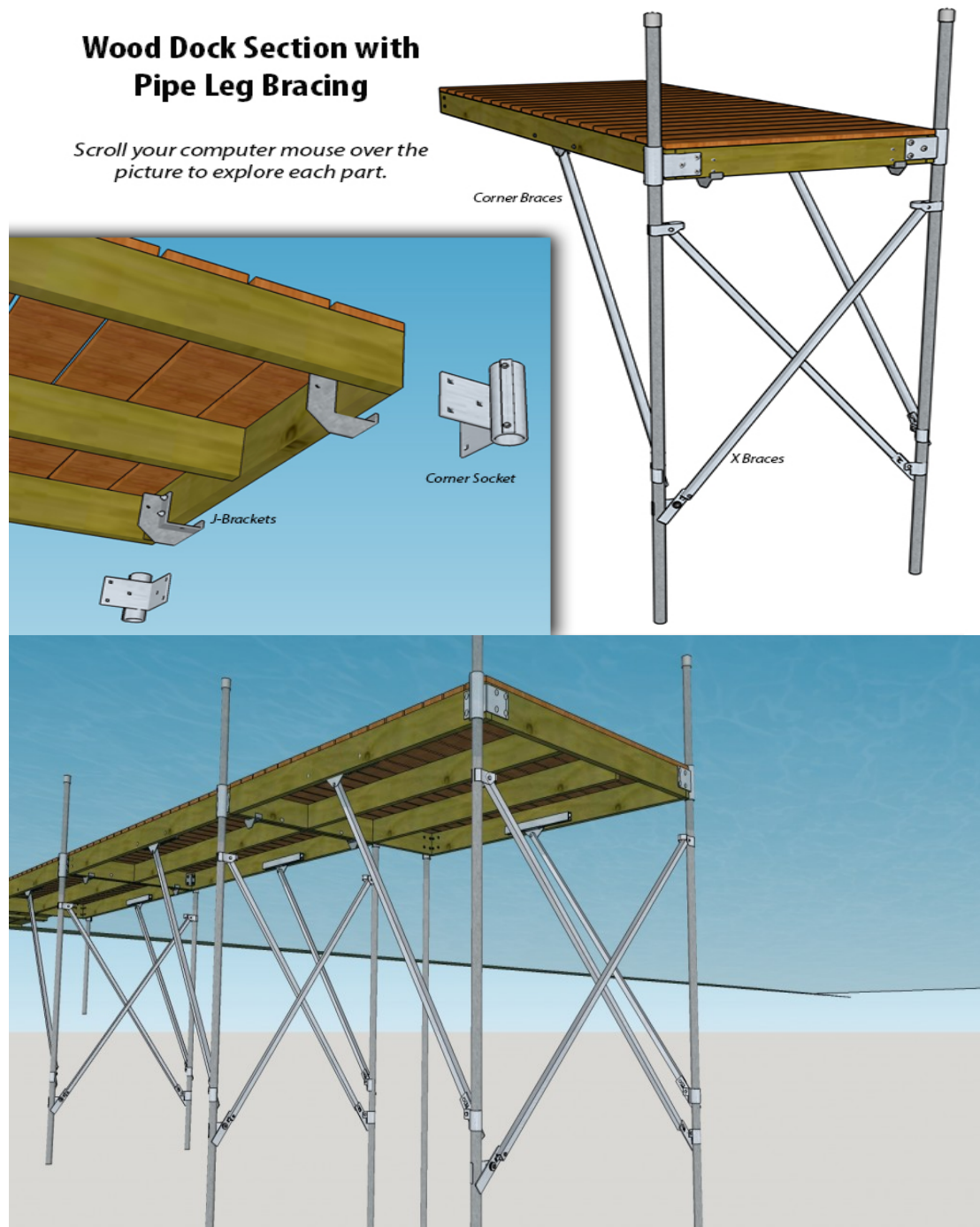


7. Dock Construction Detail – Supplied information from dock manufacturer acceptable (eg. pamphlet with assemble/construction detail)

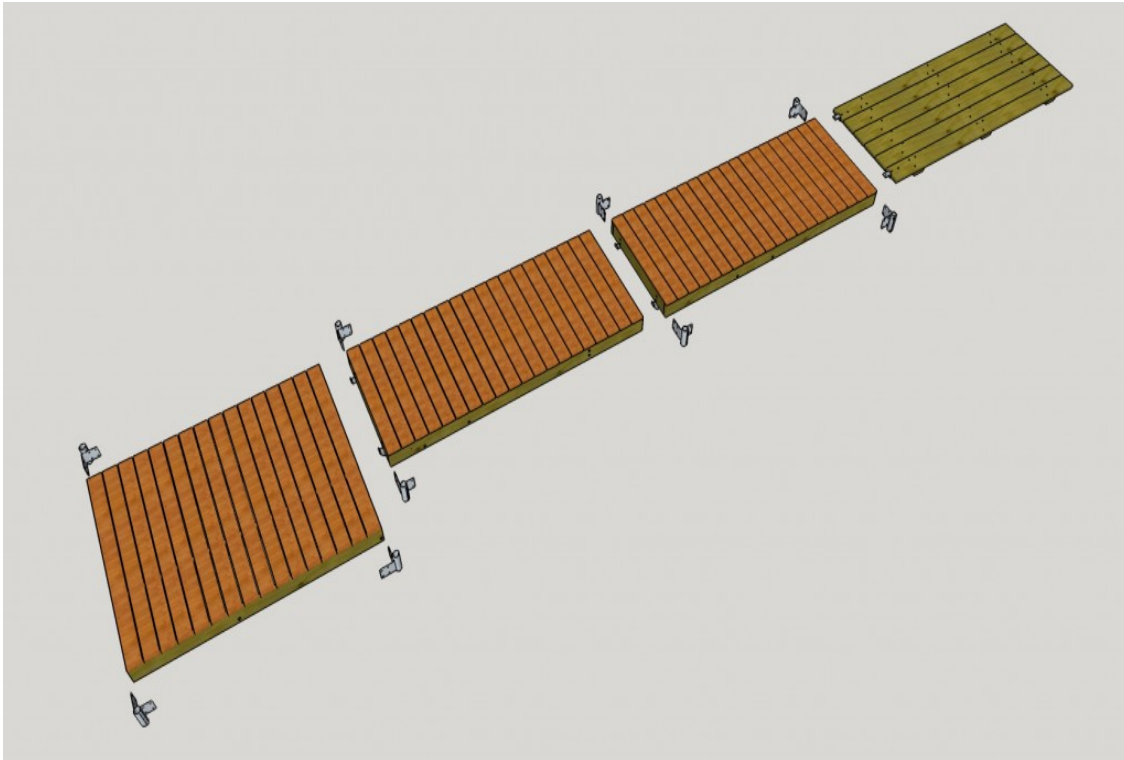


*Provide detail of each hardware component, frame components, etc. (dock manufacturer can provide).

8. Dock Construction Detail – Supplied information from dock manufacturer acceptable (eg. pamphlet with assemble/construction detail)



9. Dock decking Detail – Supplied information from dock manufacturer
(Pipe or floating dock) acceptable (eg. pamphlet with assemble/construction detail)



Provide detail of all framing members for stringers, beams, joists and decking for all dock construction. Be sure to outline the dimension of the material (eg. 6x8 stringers 28" O/C, 2x6 PT decking, 2x10 PT skirting around perimeter of dock).

For assistance with your building application or general questions regarding dock construction please contact the Building Services Department (705)636-5941.

THIS DOCUMENT DOES NOT SUPERCEED BUILDING CODE, TOWNSHIP BY-LAWS OR OTHER GOVERNMENT JURISDICTION (PROVINCIAL OR FEDERAL)